

# TECHWORKS! - PHASE 1

321 WATER STREET, BINGHAMTON, NY 13901  
SWIS: 030200 TAX ID: 106.25-1-2

## GENERAL INFORMATION

PROJECT SCOPE: LEVEL I ALTERATIONS - REROOFING & REPAIR

OWNER: CENTER FOR TECHNOLOGY & INNOVATION  
321 WATER STREET  
BINGHAMTON, NY 13901

ARCHITECT: ENCORE SUSTAINABLE DESIGN, LLC  
31 LIGHT STREET, SUITE 500  
BALTIMORE, MD 21202  
CONTACT: WARD BUCHER, AIA TEL.: (410) 624-5461  
EMAIL: WARD@ENCORESDESIGN.COM

STRUCTURAL ENGINEER: LINTON ENGINEERING, LLC  
46090 LAKE CENTER PLAZA  
POTOMAC FALLS, VA 20165  
CONTACT: DAVID LINTON, PE TEL.: (571) 323-0688  
EMAIL: DLINTON@LINTONENGINEERING.COM

## GENERAL NOTES

- BUILDING CODE REVIEW AND INSPECTIONS ARE TO BE DONE BY THE LOCAL GOVERNMENT. GENERAL CONTRACTOR TO OBTAIN ALL TRADE PERMITS AND GOVERNMENT INSPECTIONS.
- THESE SPECIFICATIONS AND DRAWINGS ARE COMPLEMENTARY. ITEMS SHOWN ON ONE DRAWING ARE AS IF IT WERE SHOWN ON ALL DRAWINGS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW THE DRAWINGS. ANY DISCREPANCIES BETWEEN THE DRAWINGS, OR THE DRAWINGS AND/OR SPECIFICATIONS, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS.**  
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO BIDDING AND START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- ABBREVIATIONS USED THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. IF THE MEANING OF ANY ABBREVIATION IS UNCLEAR, PLEASE BRING IT TO THE ATTENTION OF THE ARCHITECT FOR VERIFICATION.
- FLOOR ELEVATIONS ARE TO THE TOP OF THE CONCRETE OR SUBFLOOR UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, OR FACE OF GYPSUM BOARDS UNLESS NOTED OR SHOWN OTHERWISE.
- CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES OF CEILING.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL ACCESSORIES INCLUDING STIFFENERS, BACK-UP PLATES, SUPPORTING BRACKETS, ETC., AS MAY BE NECESSARY TO MAKE THE WORK WHOLE AND COMPLETE.
- CONTACT BETWEEN DISSIMILAR METALS SHALL BE PROTECTED TO PREVENT GALVANIC ACTION.
- PROVIDE ACCESS PANELS AT ALL RISER VALVES.
- THE NOTE "TYPICAL" INDICATES CONTRACTOR SHALL PERFORM SAME WORK AT ALL SIMILAR SITUATIONS, WHETHER OR NOT SPECIFICALLY NOTED.
- THE EXISTING BUILDING IS NOT EXACTLY SQUARE NOR PLUMB AND FIELD MEASUREMENTS ARE REQUIRED TO ACCOMMODATE NEW WORK.

## CODE SUMMARY

GENERAL BUILDING DATA	ALLOWABLE	EXISTING	PROPOSED
OCCUPANCY GROUP:	A-3 ASSEMBLY	A-3 ASSEMBLY	A-3 ASSEMBLY: MUSEUM
CONSTRUCTION TYPE:	N/A	IV / IIIB	IV / IIIB
BUILDING HEIGHT:	MAX = 85'	30'-10"	30'-10" (NO CHANGES)
STORIES ABOVE GRADE:	MAX = 4	2	2 (NO MODIFICATIONS)
FLOOR AREA:	MAX = 45,000 SF		
FIRST FLOOR		19,899 SF	19,899 SF (NO CHANGES)
SECOND FLOOR		9,755 SF	9,755 SF (NO CHANGES)
TOTAL BUILDING		29,654 SF	29,654 SF (NO CHANGES)

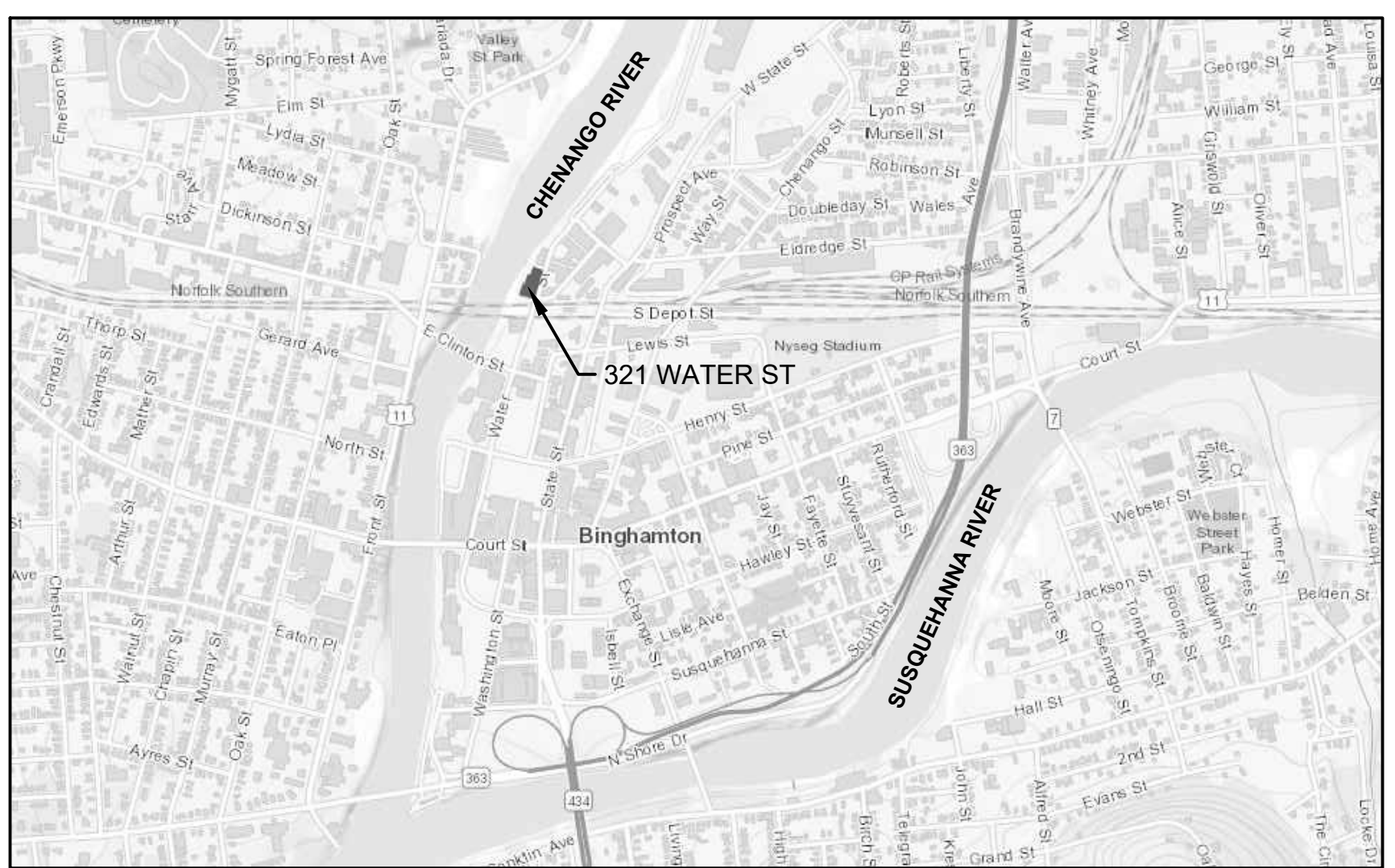
AREA OF WORK	TOTAL BUILDING SF	AREA OF WORK SF	PERCENTAGE OF AREA OF WORK
	29,963 SF	4,846 SF	16.2 %

FIRE & SMOKE PROTECTION	REQUIRED	EXISTING / PROPOSED
FIRE ALARM & DETECTION:	MAINTAIN EXISTING PROTECTION PER IEBG 703.1	INSTALLED THROUGHOUT
FIRE SUPPRESSION:	MAINTAIN EXISTING PROTECTION PER IEBG 703.1	INSTALLED THROUGHOUT

## OPAQUE THERMAL ENVELOPE INSULATION MINIMUMS - CLIMATE ZONE 6A (PER TABLE IECC C402.1.3. UNALTERED PORTIONS OF EXISTING BUILDING EXEMPT PER IEBG SECTION 708.1)

ROOF  
INSULATION ENTIRELY ABOVE ROOF DECK: R-30 CONTINUOUS INSULATION

## LOCATION MAP



## DRAWING INDEX

NO.	TITLE	DATE
G0	COVER SHEET, CODE SUMMARY & NOTES	08.02.2019
A1	ROOF FLOOR PLAN	08.02.2019
A2	SECTIONS AND DETAILS	08.02.2019
S0	STRUCTURAL NOTES	08.02.2019
S1	FOUNDATION / FIRST FLOOR PLAN	08.02.2019
S2	SECOND FLOOR PLAN	08.02.2019
S3	PENTHOUSE / ROOF PLAN	08.02.2019
S4	WEST ELEVATION AND DETAIL	08.02.2019
S5	SECTIONS AND DETAILS	08.02.2019
S6	DETAIL	08.02.2019

## REFERENCE SYMBOLS

### WALL TYPE LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO BE SALVAGED
- NEW WALL

### REFERENCE MARKERS

SECTIONS:

- SECTION NUMBER
- SHEET NUMBER

EXTERIOR ELEVATION:

- ELEVATION NUMBER
- SHEET NUMBER

DETAILS:

- DETAIL NUMBER
- SHEET NUMBER
- AREA OF DETAIL

ROOM DESIGNATION:

- ROOM NAME
- ROOM NUMBER
- AREA

DOOR DESIGNATION:

- DOOR NUMBER

WINDOW DESIGNATION:

- WINDOW NUMBER

INTERIOR ELEVATION:

- ELEVATION NUMBER
- SHEET NUMBER

PARTITION DESIGNATION:

- PARTITION TYPE REFERENCE NUMBER

EQUIPMENT DESIGNATION:

- EQUIPMENT NUMBER

KEY NOTE DESIGNATION:

- KEY NOTE REFERENCE NUMBER

REVISION DESIGNATION:

- REVISION DELTA & REFERENCE NUMBER
- REVISION CLOUD

## MATERIAL SYMBOLS

ALUMINUM	GRAVEL	STEEL
BATT INSULATION	GROUT	WATER BARRIER
BRICK	GYPSUM OR SAND	WOOD - ROUGH
CONCRETE	RIGID INSULATION	WOOD - FINISH
CONCRETE MASONRY UNIT	SEMI-RIGID INSULATION	WOOD BLOCKING
EARTH	SOLID SURFACE COUNTER	WOOD - SUBSTRATE PLYWOOD
GLASS- CROSS SECTION		

## CITY OF BINGHAMTON, NY BUILDING CODES & STANDARDS

CODE	TITLE / EDITION
EXISTING BUILDING	ICC INTERNATIONAL EXISTING BUILDING CODE / 2015 NEW YORK STATE 2017 UNIFORM CODE SUPPLEMENT
COMMERCIAL BUILDING	ICC INTERNATIONAL BUILDING CODE / 2015 NEW YORK STATE 2017 UNIFORM CODE SUPPLEMENT
FIRE PREVENTION	ICC INTERNATIONAL FIRE CODE / 2015 NEW YORK STATE 2017 UNIFORM CODE SUPPLEMENT
PLUMBING	ICC INTERNATIONAL PLUMBING CODE / 2015 NEW YORK STATE 2017 UNIFORM CODE SUPPLEMENT
MECHANICAL	ICC INTERNATIONAL MECHANICAL CODE / 2015 NEW YORK STATE 2017 UNIFORM CODE SUPPLEMENT
FUEL GAS EQUIPMENT & SYSTEMS	ICC INTERNATIONAL FUEL GAS CODE / 2015 NEW YORK STATE 2017 UNIFORM CODE SUPPLEMENT
ENERGY CONSERVATION	ICC INTERNATIONAL ENERGY CONSERVATION CODE / 2015 NEW YORK STATE 2016 ENERGY CODE SUPPLEMENT
PROPERTY MAINTENANCE	ICC INTERNATIONAL PROPERTY MAINTENANCE CODE / 2015 NEW YORK STATE 2017 UNIFORM CODE SUPPLEMENT

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AND REPAIR**

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**DESIGN TEAM**

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**DRAWING ISSUE DATES**

08.02.19 | PERMIT

PERMIT

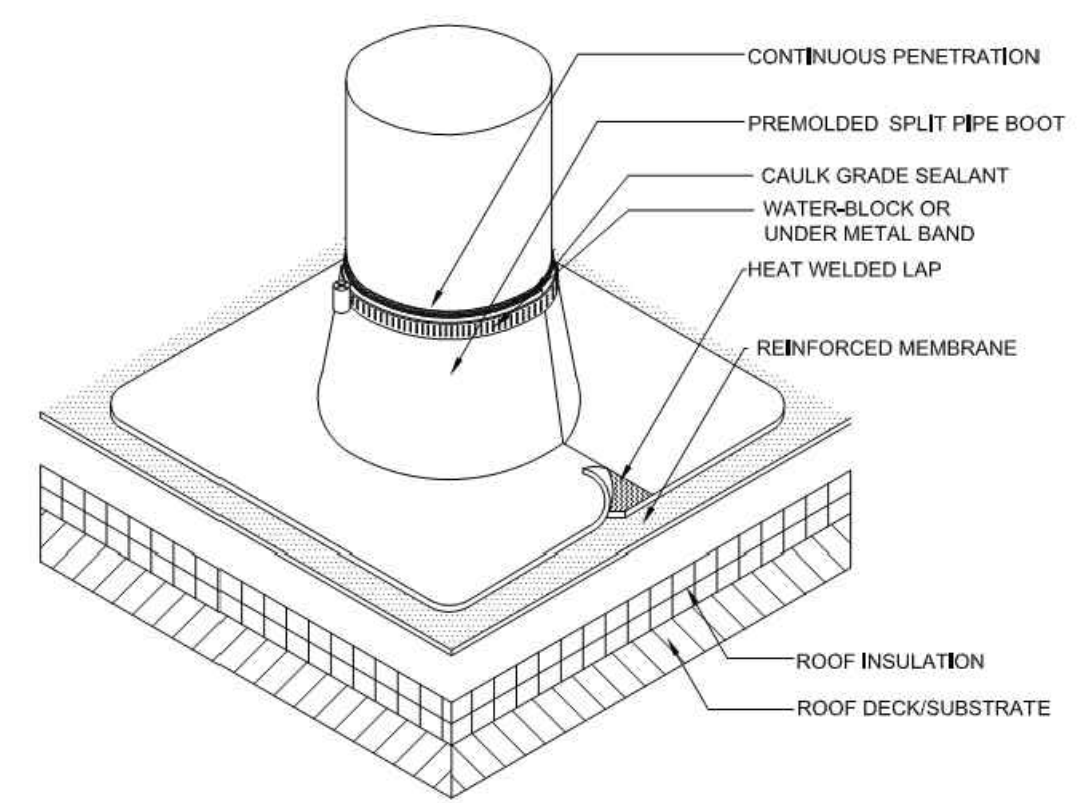
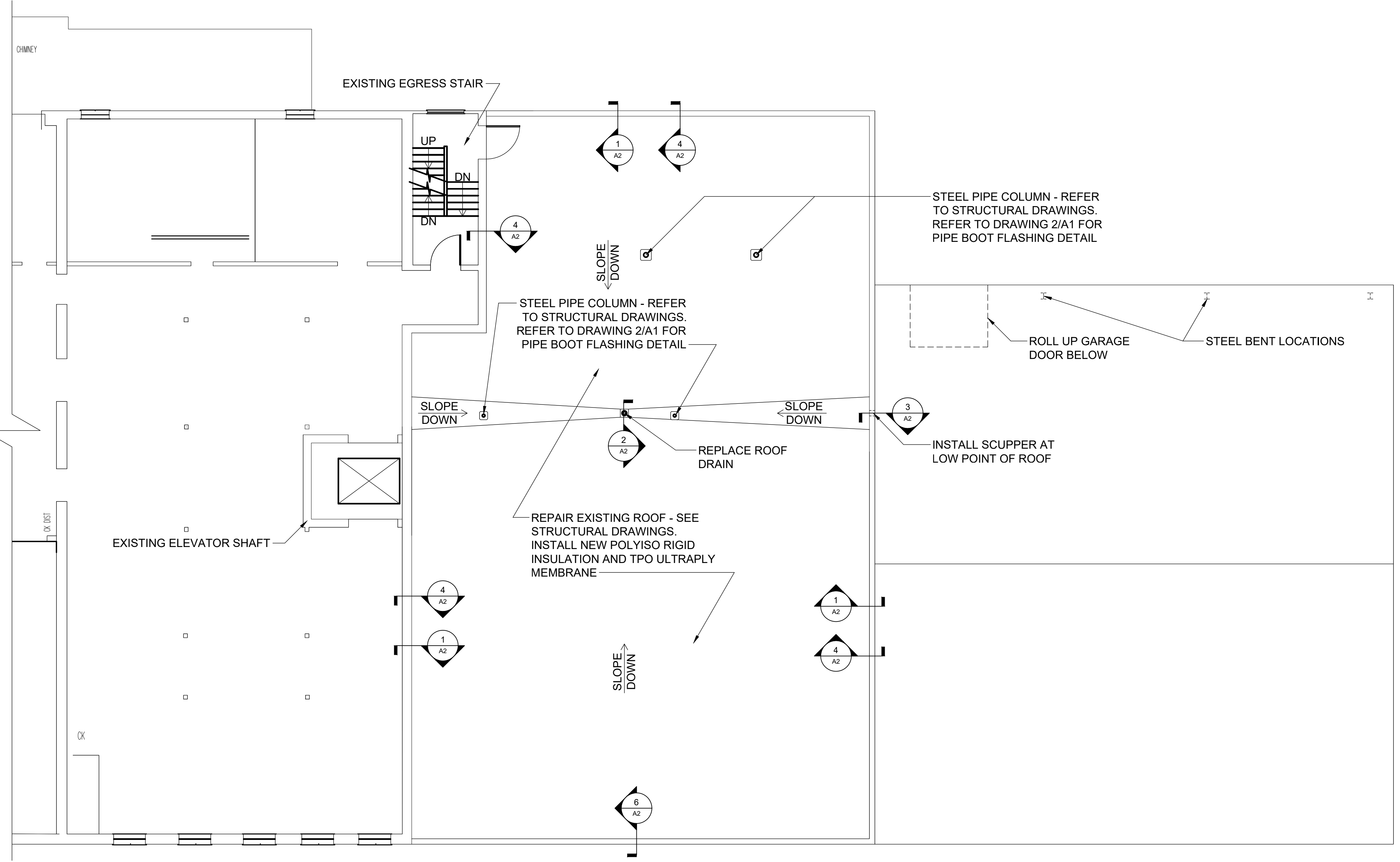
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SCALE: AS SHOWN

ROOF FLOOR PLAN  
AND DET.

**A1**

CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD  
AND INFORM ARCHITECT OF ANY DISCREPANCIES  
BEFORE STARTING WORK.  
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- NOTE:**
1. FOUR PLATES & SCREWS AROUND PENETRATION.
  2. IF PLATES AND FASTENERS ENCR OACH INTO THE SEAM AREA OF THE POCKET, THEN A TARGET MUST BE ADDED FIRST TO COVER FASTENERS.
  3. 25 YEAR GUARANTEES AND ABOVE MUST USE EXTREME ACCESSORIES.
  4. APPLY TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES

**2 SPLIT PIPE BOOT DETAIL**  
SCALE: N.T.S.

**1 SECOND FLOOR PLAN - PHASE 1**  
SCALE: 1/8" = 1'-0"  
ASSUMED

0 2' 4' 8' 12' 20'

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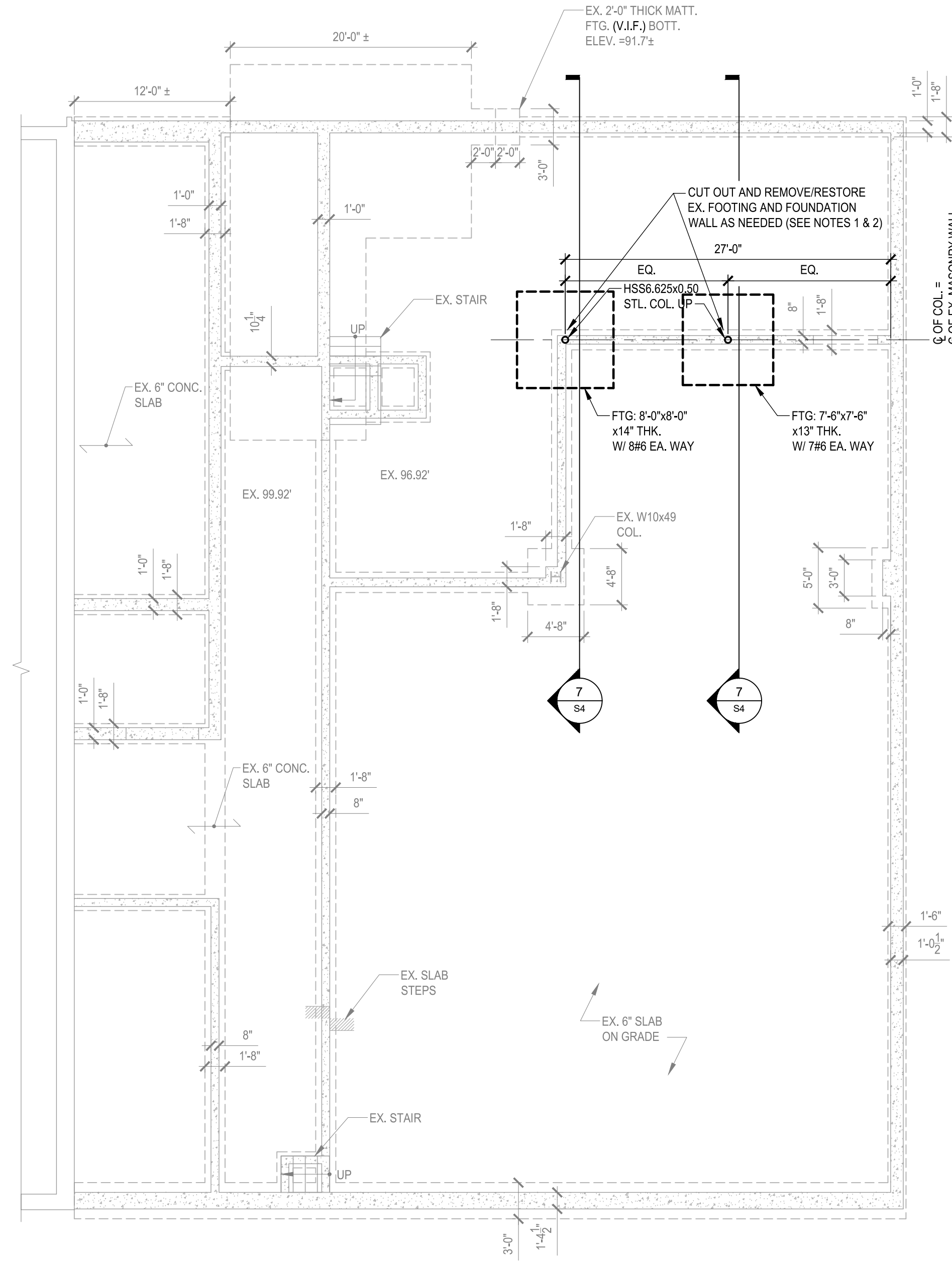
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SCALE: AS SHOWN

**FOUNDATION / FIRST  
FLOOR FRAMING  
PLAN**  
**S1**

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**1**  
**S1**

**FOUNDATION / FIRST FLOOR PLAN**

SCALE: 1/8"=1'-0"

**ASSUMED**

**NOTES:**

1. G.C. TO CUT EXISTING SLAB AND MASONRY WALL AS NEEDED. REMOVE ALL EXISTING FILL ALONG WALL DOWN TO BOTTOM OF EXISTING FOOTING AS SHOWN.
2. AFTER COMPLETION OF FOOTING INSTALLATION / INSPECTION WORK, G.C. SHALL INFILL WALL AND SLAB AGAINST WALL WITH STRUCTURAL FILL AND RESTORE 6" CONCRETE SLAB TO MATCH EXISTING ADJACENT CONDITION.

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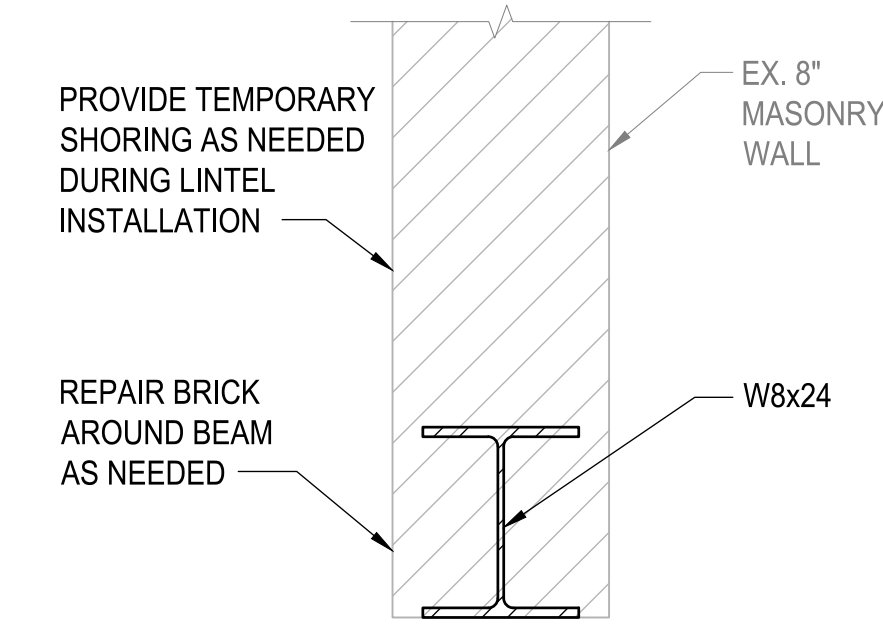
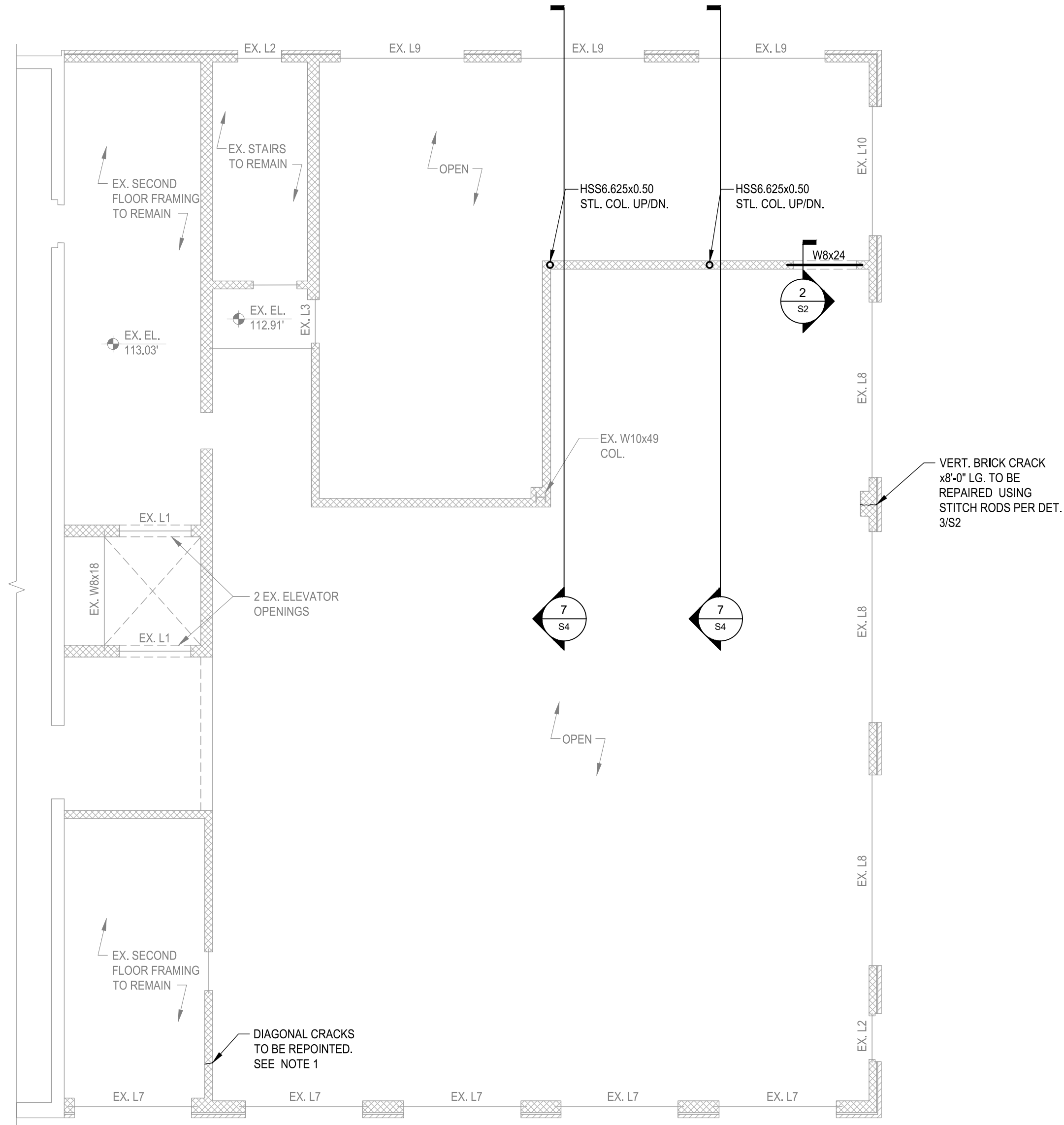
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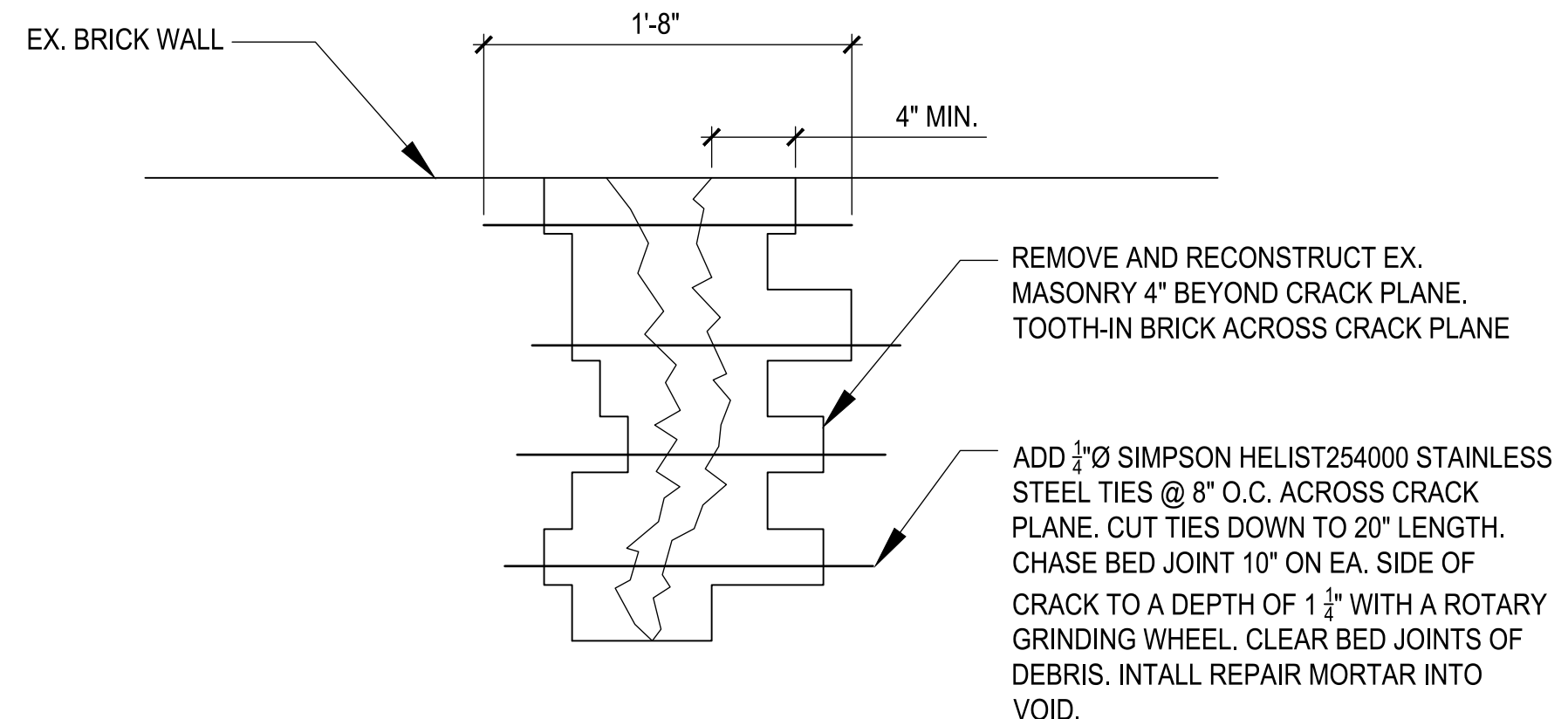
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**2 LINTEL DETAIL**  
SCALE: 1 1/2"=1'-0"



**3 TYP. LARGE VERT. BRICK CRACK REPAIR DET.**  
SCALE: 1"=1'-0"

**1 SECOND FLOOR FRAMING PLAN**  
SCALE: 1/8"=1'-0"

- NOTES**
- REMOVE MORTAR EX. DAMAGED JOINTS AND REPOINT THE CRACKED MORTAR JOINT. WHERE THE CRACK RUNS THROUGH AN EXISTING BRICK, REMOVE THE CRACKED BRICKS AND UTILIZE A SALVAGED EXISTING BRICK TOOTHED BACK INTO THE WALL.

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SCALE: AS SHOWN

SECOND FLOOR  
FRAMING PLAN AND  
DET. **S2**



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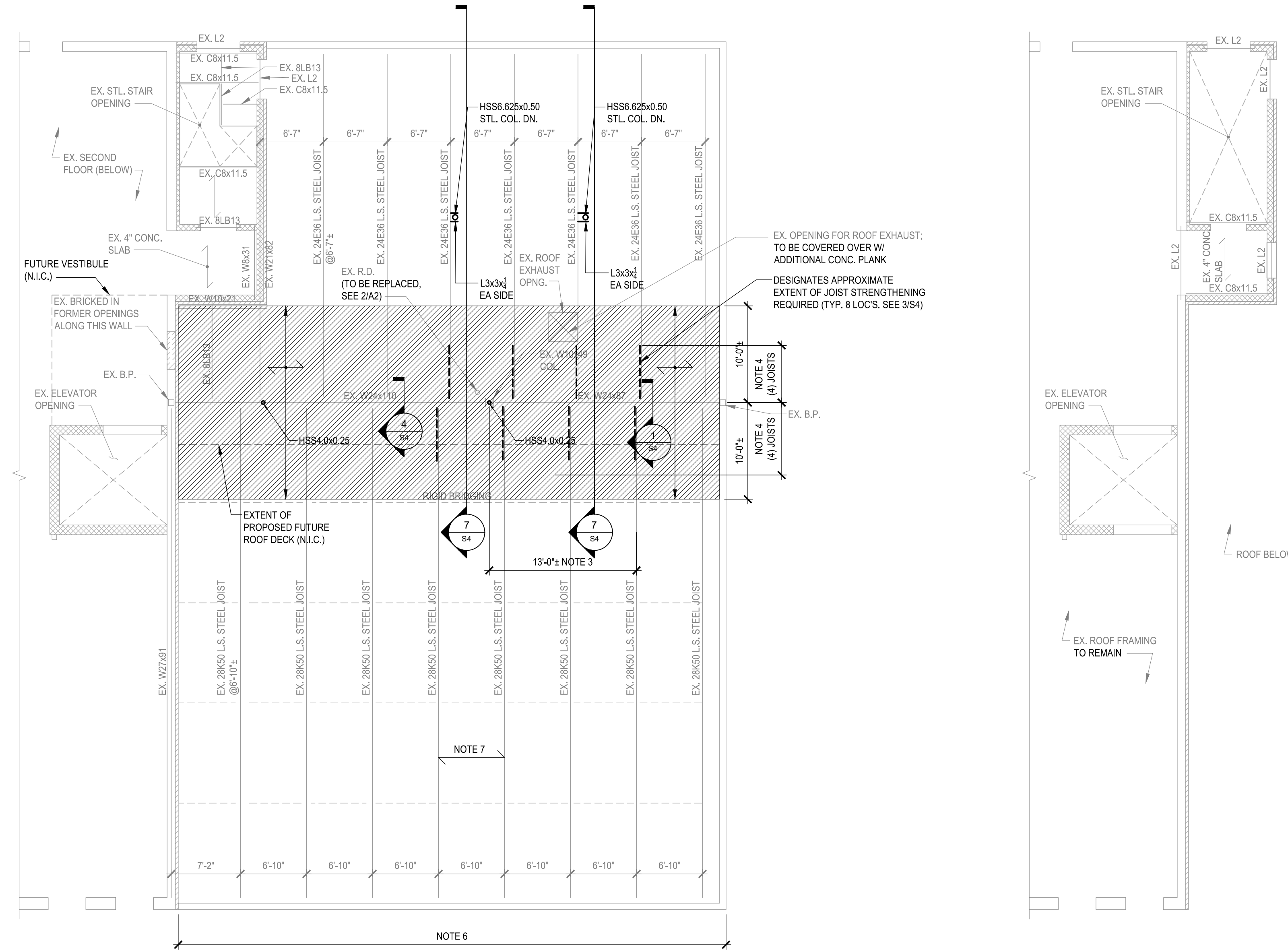
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**1**  
PENTHOUSE FLOOR / ROOF FRAMING PLAN  
SCALE: 1/8"=1'-0"

- NOTES:**
1. R+R DESIGNATES REMOVE + REPLACE.
  2. [Hatched Area] EXTENT OF 2" CONCRETE PLANK REPLACEMENT FOR BASE BID.
  3. TOP FLANGE OF EX. W24x87 APPEARS TO BE CORRODED. STRENGTHENING DETAIL 1/4 S4 IS TO BE BID ON LINEAR FOOT BASIS. EXTENT OF REINFORCEMENT TO BE CONFIRMED IN THE FIELD ONCE SURFACE OF TOP FLANGE IS FULLY EXPOSED. ESTIMATED LENGTH = 13'-0"± FOR BASE BID.
  4. TOP SURFACE OF EX. 28K50 JOISTS AND 24E36 APPEAR TO BE CORRODED. STRENGTHENING DETAILS 2/4 S4 & 3/4 S4 ARE TO BE BID BASED ON A STRENGTHENING LENGTH OF 6'-0" PER JOIST. EXTENT OF REINFORCEMENT LENGTH TO BE CONFIRMED IN THE FIELD ONCE TOP OF JOIST IS FULLY EXPOSED.
  5. EXISTING CONCRETE ROOF PANELS ARE 2" THICK x 15' WIDE X 10'-0" LG.
  6. ALL EXISTING ROOFING AND LOOSE MORTAR SHALL BE REMOVED AND DISPOSED OF DOWN TO THE TOP SURFACE OF THE EX. CONCRETE PLANKS. EXPOSED SURFACE SHALL BE CLEANED OF ALL DUST + LOOSE MATERIAL PRIOR TO APPLYING THE ADHESIVE FOR THE NEW TPO ROOF MEMBRANE.
  7. **BID ALTERNATE:** REMOVE AND DISPOSE OF ALL EXISTING CONCRETE ROOF PLANKS DOWN TO BARE STRUCTURE. PROVIDE TEMPORARY BRACING OF ROOF JOIST AS NEEDED DURING DEMOLITION. INSTALL NEW 1 1/2" DEEP, TYPE B (WIDE RIB) x20 GA. ROOF DECK ACROSS FULL EXTENT OF EXISTING LOW ROOF. PUDDLE WELD DECK TO TOP OF EXISTING STEEL JOISTS.
  8. [Arrow] DESIGNATES 1 1/2" DEEP x20 GA. TYPE B (WIDE RIB) ROOF DECK.

**2**  
STAIR / ELEV. PENTHOUSE  
FRAMING PLAN  
SCALE: 1/8"=1'-0"

DATE: 08.02.2019

SCALE: AS SHOWN

PENTHOUSE / ROOF  
FRAMING PLANS  
**S3**